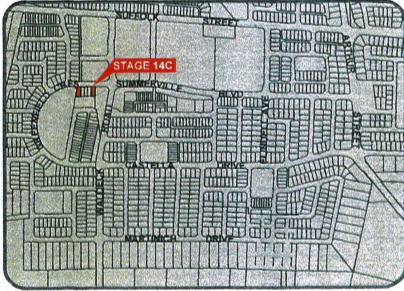


# LOCATION PLAN



## GREENFIELD CRESCENT

PUBLIC  
OPEN  
SPACE

331

706

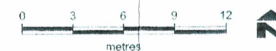
DRAINAGE  
RESERVE

### LEGEND

- LOCAL DEVELOPMENT PLAN BOUNDARY
- UNIFORM FENCING
- DWELLING ORIENTATION
- MANDATORY GARAGE LOCATION
- OUTDOOR LIVING ORIENTATION

### NOTES

(Base data supplied by MAPS)  
Projection: PGCS204  
Areas and dimensions shown are subject to final survey calculations.  
All contingencies are shown for illustrative purposes only and are subject to detailed engineering design.  
The concepts presented in this plan remain the copyright of Western Corporate.  
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### LOCAL DEVELOPMENT PLAN PROVISIONS

#### General Provisions

1. The provisions of this Local Development Plan (LDP) constitute both Residential Design Codes (R-Codes) 'Deemed-to-comply' provisions and development standards under the City of Swan Local Planning Scheme No. 17 and other City of Swan Policies and Guidelines. Where there is a conflict between the R-Codes and the provisions of this LDP, the LDP provisions shall prevail.
2. The provisions contained within the City of Swan POL-LP-11 (Variation to deemed to comply requirements of the R-Codes Medium density single house development standards) (R-MD Codes) apply to all lots subject to this LDP.
3. Minor variations to this LDP may be approved by the City of Swan.
4. Compliance with the LDP provisions will not require consultation with adjoining and/or nearby landowners.

#### Uniform Fencing

5. Uniform fencing installed by the developer cannot be modified, with the exception of maintenance and repair using materials that are as close as possible to those used in the original construction.

#### Dwelling Orientation

6. Dwellings must provide at least one major opening facing the primary street and another facing the adjoining public open space / drainage reserves (as applicable).

#### Outdoor Living Areas

7. Outdoor Living Areas must orientate towards the adjoining public open space / drainage reserves (as applicable) to provide surveillance.

CITY of SWAN  
APPROVED

File No. LDP/30/2017

17 JAN 2018

*[Signature]*

SCALE 1:300@A3

DATE 13 December 2017

PLAN NO. TPE-14c-010

REVISION B

DRAWN BDL

DELEGATED OFFICER  
STATUTORY PLANNING

**T**  
TAYLOR  
PRIVATE ESTATE

LOCAL DEVELOPMENT PLAN - STAGE 14C  
Lots 331 & 706 Greenfield Crescent



**WESTERN CORPORATE**  
Project Managers & Consultants

L1: 252 Fitzgerald St, Perth / PO Box 235, North Perth WA 6906  
P: (08) 9227 9429 F: (08) 9227 9490 W: www.westerncorporate.com.au

CITY OF SWAN  
15 DEC 2017  
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