

Area Names	Area	Perimeter			
HOUSE AREA	209.05	73.16			
GARAGE	32.68	23.16			
ALFRESCO	24.91	20.00			
PORCH	1.61	5.20			
	268.25 m²				
ROOF AREA	290.38				

## NOTE:

Room sizes, areas, design and setbacks may vary and are subject to change to suit construction, authority approvals and receipt of site survey.

	House Type:	CUSTOM - ESSENTIALS					
	Lot Address:	Lot 1944 Martinich Drive,Caversham	Council: Swan			CHECKED BY	
blueprint	Client Name 1:		Date://				
orocprint	_ Signature:			Signed:	Date:	25/07/2022	
HOMES	Client Name 2: Date: , ,		www.blueprinthomes.com.au				
UNIT 22/257 BALCATTA ROAD, BALCATTA W.A. 6021	Signature:						
PHONE : (08) 6241 4888 FACSIMILE : (08) 6241 4800				JESSE OWENS Design & Building (	Consultant		
www.blueprinthomes.com.au	Client Approval of Design for Costing Purposes		Mob: 0422 280 415 jesse.owens@blueprinthomes.com.au				
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- 1	NOTE: 1:100 Room sizes, areas, design and setbacks may vary and are subject to	o change to suit constr	uction, authority approvals and rec	eipt of site survey.				
		House Type:	CUSTOM - ESSENTIALS					
blueprint		Lot Address:	Lot 1944 Martinich Drive, Caversham	Council: Swan Date:	APPROVED & CHECKED BY THE DESIGN DEPARTMENT			
		Client Name 1:						
		Signature:			Signed: Date: 25/07/2022			
		Client Name 2:		Date:	www.blueprinthomes.com.au			
UNIT 22/257 BALCATTA ROAD, BALCATTA W.A. 6021		Signature:						
	PHONE : (08) 6241 4888 FACSIMILE : (08) 6241 4800 www.blueprinthomes.com.au © COPYRIGHT BLUE PRINT HOMES WAPTY LTD	Client Approval of Design for Costing Purposes			JESSE OWENS Design & Building Consultant Mob: 0422 280 415 jesse.owens@blueprinthomes.com.au V3			
	H:\Sketch\Client Sketches\2022\Jesse Owens\Egali - Bennett Springs\SKETCH PLN\EGALI_V3.pln	Client Signature:			Drawn :JG Checked:DW Date:25/07/2022			